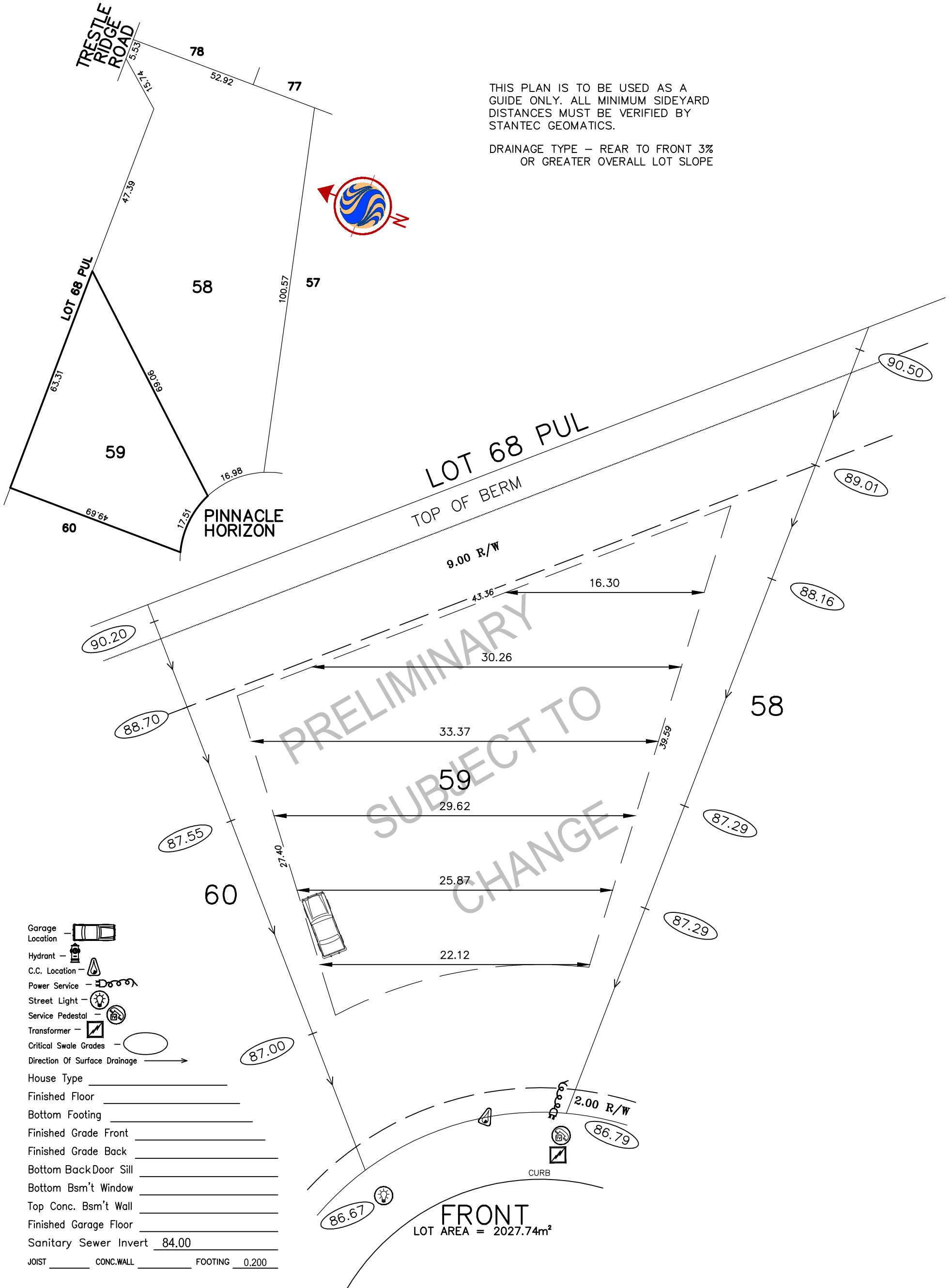
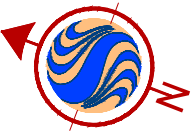


TRESTLE RIDGE ROAD

THIS PLAN IS TO BE USED AS A GUIDE ONLY. ALL MINIMUM SIDEYARD DISTANCES MUST BE VERIFIED BY STANTEC GEOMATICS.

DRAINAGE TYPE - REAR TO FRONT 3% OR GREATER OVERALL LOT SLOPE

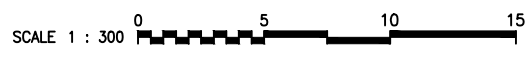


PRELIMINARY
SUBJECT TO
CHANGE

- Garage Location
- Hydrant
- C.C. Location
- Power Service
- Street Light
- Service Pedestal
- Transformer
- Critical Swale Grades
- Direction Of Surface Drainage
- House Type _____
- Finished Floor _____
- Bottom Footing _____
- Finished Grade Front _____
- Finished Grade Back _____
- Bottom Back Door Sill _____
- Bottom Bsm't Window _____
- Top Conc. Bsm't Wall _____
- Finished Garage Floor _____
- Sanitary Sewer Invert 84.00
- JOIST _____ CONC.WALL _____ FOOTING 0.200



Stantec Geomatics Ltd.
10160-112th Street NW
Edmonton, Alberta, Canada
T5K 2L6
Tel. 780-917-7000
Fax. 780-917-7289
www.stantec.com



*The elevation of this house has been designed so that it will be in conformance with the lot grading plan.
*This plan is subject to the approval of the local approving authority and the agent responsible for the architectural control guidelines.
*Stantec Geomatics will accept no responsibility for any costs incurred due to an error or omission on this plan if construction starts prior to the subject approvals.
*All dimensions and services shown must be confirmed by contractor prior to excavation.
*All distances shown are in metres and decimals thereof.

CR-2

Legal Description
LOT 59 BLOCK 1 PLAN UN-REG.
PINNACLE RIDGE
Municipal Address
STURGEON COUNTY
Builder
Title
Plot Plan
Your File:
VES-11/06/2012