

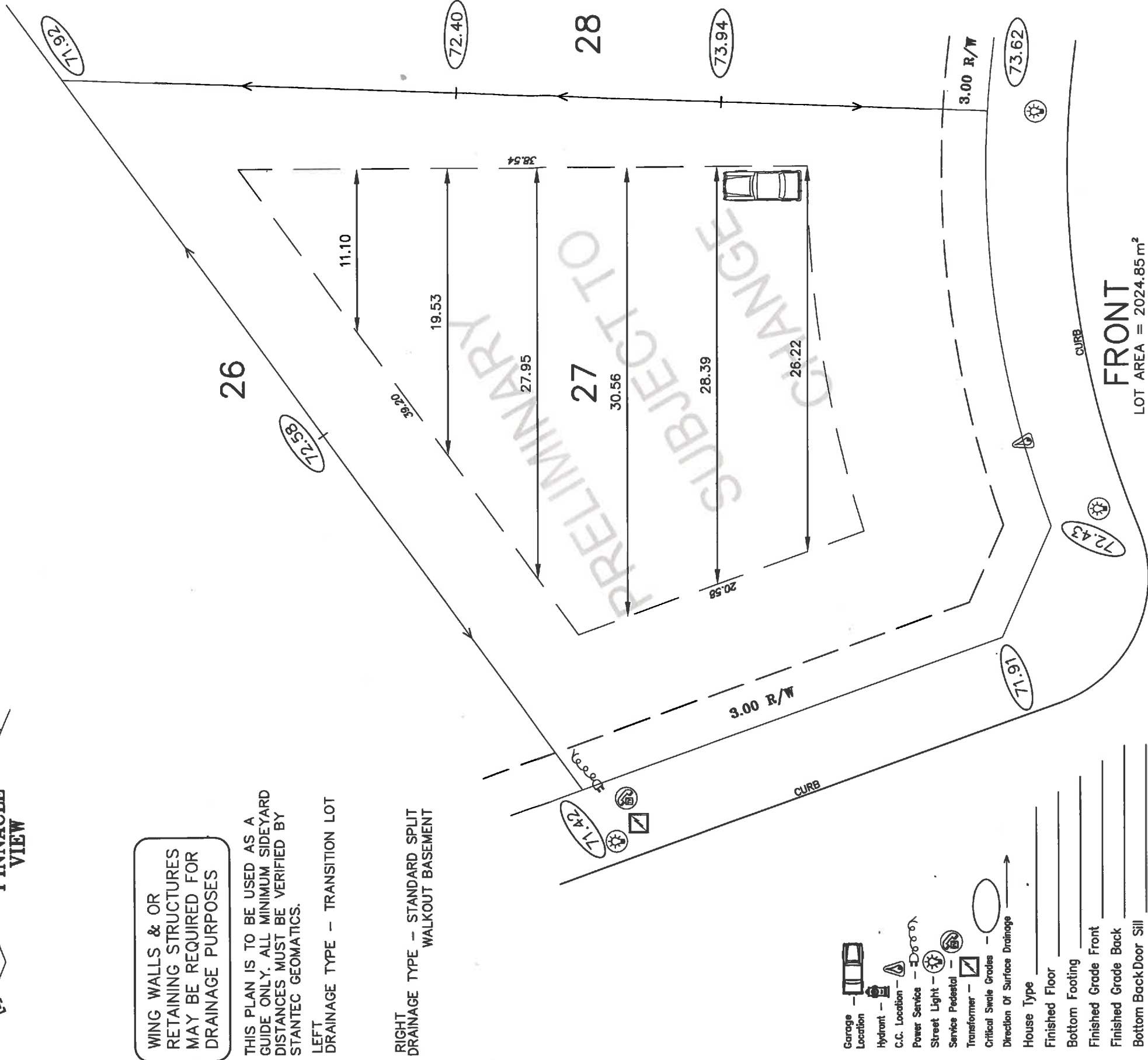
LOT HAS MORE THAN ONE METER OF FILL PLACED ON UNDISTURBED CLAY. IT IS RECOMMENDED THAT A GEOTECHNICAL ENGINEER BE ENGAGED TO PROVIDE A FOUNDATION RECOMMENDATION.

WING WALLS & OR RETAINING STRUCTURES MAY BE REQUIRED FOR DRAINAGE PURPOSES

THIS PLAN IS TO BE USED AS A GUIDE ONLY. ALL MINIMUM SIDNEYARD DISTANCES MUST BE VERIFIED BY STANTEC GEOMATICS.

LEFT DRAINAGE TYPE - TRANSITION LOT

RIGHT DRAINAGE TYPE - STANDARD SPLIT WALKOUT BASEMENT



- Garage Location
- Hydrant
- C.C. Location
- Power Service
- Street Light
- Service Pedestal
- Transformer
- Critical Swale Grades
- Direction Of Surface Drainage
- House Type \_\_\_\_\_
- Finished Floor \_\_\_\_\_
- Bottom Footing \_\_\_\_\_
- Finished Grade Front \_\_\_\_\_
- Finished Grade Back \_\_\_\_\_
- Bottom BackDoor Sill \_\_\_\_\_
- Bottom Bsm't Window \_\_\_\_\_
- Top Conc. Bsm't Wall \_\_\_\_\_
- Finished Garage Floor \_\_\_\_\_
- Sanitary Sewer Invert **69.93**
- JOIST \_\_\_\_\_ CONC.WALL \_\_\_\_\_ FOOTING **0.200**



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 www.stantec.com

SCALE 1 : 300

The elevation of this house has been designed so that it will be in conformance with the lot grading plan.  
 This plan is subject to the approval of the local approving authority and the agent responsible for the architectural control guidelines.  
 Stantec Geomatics will accept no responsibility for any costs incurred due to an error or omission on this plan if construction starts prior to the subject approval.  
 All dimensions and services shown must be confirmed by contractor prior to excavation.  
 All distances shown are in metres and decimals thereof.

CR-2

Legal Description  
**LOT 27 BLOCK 2 PLAN 092-0935**  
 PINNACLE RIDGE

Municipal Address

STURGEON COUNTY

Builder

Title  
**Plot Plan**  
 Our File: 56245000  
 Your File:  
 YES-05/28/08